



ADDENDUM 2

INVITATION FOR BIDS

City of Suffolk

IFB #2013-00083-MC

April 23, 2013

Purchasing Division

441 Market Street, Room 105

Suffolk, VA 23434

Phone: (757) 514-7523/ Fax: (757) 514-7524

<http://www.suffolkva.us/purchasing>

WHALEYVILLE COMMUNITY CENTER

SCOPE OF WORK – Provide all labor, equipment, hardware, services, materials, to construct and complete approximately 23,634 sq. ft. of renovation and addition to the Robertson Elementary School to become the City of Suffolk Department of Parks and Recreation's new Whaleyville Community Center as shown on the construction documents/drawings.

Mandatory Pre-Bid Conference: Tuesday, May 7, 2013 at 2:00 p.m. at the project site, Robertson Elementary School, located at 132 Robertson Street, Suffolk, VA.

Bid Due: 3:00 p.m., May 22, 2013

Contract Officer: _____

Michael Coburn, Sr., CPPO, Purchasing Agent, mcoburn@suffolkva.us

The following pages include questions submitted to the City relating to the bid, and certain replacement pages. Please return and acknowledge this addendum with your submittal.

Whaleyville Community Center Suffolk VA-Project # 1202-10

IFB # 2013-00083-MC BF-1

BID FORM

TO: Purchasing Division **BID:** Whaleyville Community Center

441 Market Street, Room 105

Suffolk, VA 23434 **DUE:** May 22, 2013

TIME: 3:00 p.m. Local

_____ (Company) quotes firm price(s) below, exclusive of all taxes, to furnish all labor, materials, equipment, transportation, licenses, permits, and fees required to construct the Whaleyville Community Center in accordance with all specifications, terms, conditions, and contract documents/drawings herein.

It is the intent of the City to award the bid in total including all Add-Alternates. Should total costs exceed that budgeted for the project, the City reserves the right to negotiate price with the lowest responsive and responsible bidder, or delete some or all of the add-alternates.

Qty Description Total

1 Base Bid (Lump Sum) \$ _____

Add-Alternate No.1 (Concrete Walkways) \$ _____

Add-Alternate No. 2 (Asphalt Parking Lot) \$ _____

Add-Alternate No. 3 (Asphalt Trails) \$ _____

Add-Alternate No. 4 (Landscaping) \$ _____

Alternates:

Alternates listed are proposed by the Owner to be deducted from the Base Bid should total cost exceed the budget.

Unit Prices:

The undersigned, having complied with the Base Bid requirements set forth above, hereby proposes to provide all labor, material, equipment and services at the Unit Prices listed below necessary for the additions and/or deductions, which may be authorized during construction, from the Contract Sum. Unit Prices include all overhead, profit, indirect costs and complete installation and shall become part of the Contract upon its acceptance. All materials and workmanship shall be equal in character to those specified or intended by the Project

Specifications. Unit Prices will adjust the quantity allowance estimates specified/defined in Section 01210-Allowances.

1. Roof Deck:

Includes removal and replacement.....\$_____per square ft

2. Concrete Floor Slabs:

Includes cutting/removal and replacement.....\$_____per square ft

Implementation of contract:

The undersigned bidder hereby acknowledges that time is of the essence to the Contract and agrees to commence the work immediately after receipt of Notice to Proceed and to fully complete the project within Four Hundred Twenty consecutive calendar days after the Date of Notice to Proceed. This amount of time will be defined as the Contract Time. The undersigned hereby declares that this Contract Time is sufficient to assure timely completion of the work.

Time Schedules:

The undersigned declares that it is understood that a Detailed Construction Time/Progress Schedule for all trades will be prepared by the Contractor in such form set forth in the Contract Document, unless otherwise mutually agreed. The undersigned will submit such construction time/progress to the Owner no later than 3-days after the date of Notice to Proceed.

Warranty of the Lump Sum:

The undersigned affirms that the above Lump Sum Base Bid represents the entire cost of the Project in accordance with the Bid Documents and that no claim will be made on account of any increase in wage scales, material prices, taxes, insurance, cost indexes or any other rates affecting the construction industry and/or this project.

REFERENCES

Indicate below a listing of at least three (3) recent references for which you have provided similar services. Include the date that services were furnished and the name, address, and phone number of the person we have your permission to contact.

Client/Address Date Contact Person Phone No.

1) _____

2) _____

3) _____

Bidder has included the following with his BID FORM (please check):

"Anti-collusion/Nondiscrimination/Drug Free Workplace" clause

Proof of Authority to Transact Business in Virginia form

Payment Terms/Discounts _____ (Suffolk's normal payment schedule: items accepted and invoiced by 10th of month will be paid month end. Cash discounts offered for less than 30 Days from receipt of proper invoice will not be considered in award.)

Company Name _____

Address _____

Person Quoting _____ Title _____

Telephone No.: _____ Fax: _____

Email Address: _____

Cell Phone # : _____

Social Security Number or FIN Number _____

I certify that this bid is made without prior understanding, agreement, or connection with any corporation, firm, or person submitting a bid for the same equipment/materials/ service and is in all respects fair and without collusion or fraud. I understand that collusive bidding is a violation of State and Federal law and can result in fines, prison sentences and civil damage awards. I agree to abide by all conditions of this bid and certify that I am authorized to sign this bid for the bidder.

I certify by my signature below that I have received the documents associated with this bid and understand that the review for completeness of these bid documents and the understanding and comprehension of the bid specifications is solely my responsibility; based on this, by my signature below I waive all rights to further claims against the City of Suffolk that the document were incomplete or not understandable.

I certify that the bidder represented herein is eligible to bid with respect to all applicable sections of State and Local Government Conflict of Interest Act, Code of Virginia, Section 2.1-639.1 et. seq.

Signature _____

Date _____

(Person signing bid should show title or authority to bind the firm in a contract

Questions and Answers

1. In Specification Section 01000 – Summary of Work, 1.03 Paragraph E., Item 1a states that selected site work and 1b hazardous material removal and/or abatement will be performed under separate contracts. The body of the bid documents has all site work and all abatement as a part of the contract. Please advise.

The Summary of Work will be changed to delete E1a and E1b. Abatement and Site Work is part of the Contract Base Bid.

2. In the Conditions and Instructions, Paragraph 56 Exemption from Taxes states that the City is exempt from State Sales Tax and Federal Excise Tax. Section 01000 – Summary of Work, 1.03 Paragraph C states that we are to include all Federal, state, and local sales, use, and excise taxes. Please advise.

The Conditions and Instruction states the City is exempt from certain taxes. A tax exempt form will be provided if required by the successful bidder. This statement rules.

3. What is the substantial time for completion and final completion time thereafter?

Please see attached Revised Bid Form. We suggest 420 consecutive calendar days after Notice to Proceed date.

4. In The General Conditions, Paragraph 16 Surveys, Permits, and Regulations states that the contractor shall pay for all necessary permits and licenses for the prosecution of the work. Specification Section 0100 – Summary of Work, 1.03 Paragraph D states the same except that we are not to include the cost of the General Building Permit. Are there any other permits and/or fees that are not to be included in the bid price?

The General Conditions and Instructions shall rule.

5. Sheet C4.0 of the civil drawings shows a “10’ x 10’ dumpster pad w/6’ privacy fence and gate consisting of materials that match the building façade”; more detail is requested; i.e., wall section and gate details.

Only Dumpster pad is in contract – there will be no fence or gate.

6. In Specification Section 01210 – Allowances there are two (2) requested square foot unit prices required. They are not included in the Bid Form. Please advise.

Bid Form has been revised to include Unit Prices for some unforeseen conditions of the Roof Deck and Concrete Slabs as defined in the Allowances Section 01210.

7. Also, there is a Specification Section 01270 – Unit Prices; are there any additional unit prices that need to be included on the Bid Form?

Unit Prices as defined by the Allowances Section is on the Revised Bid Form. There are no additional prices requested other than the two listed.

8. I did not see mention of Builder's Risk Insurance; will the City provide Builder's Risk for the project?

The City has not asked for Builder's Risk Insurance.

9. An enlarged plan of the Kitchen Area with Interior Elevations and Equipment List is on Sheet **A105**. The following which were not clarified on the drawings. There are only cut sheets. Are there any written specs for this equipment? The cut sheets do not specify model numbers. For instance, the Frymaster cut sheet has about 6 models listed and does not indicate the model desired. Also what drawing is this equipment located on?

- a. The electric fryer is Frymaster E4 Model RE 14 with split frypots.**
- b. Hobart Dishmachine is the undercounter model LXiH-3**
- c. Manitowoc Ice Cube Machine Model Q130**
- d. I believe the rest is listed on A105. In addition, check the Mechanical and Electrical drawings for additional info.**

10. Sheet C4.0 shows a half basketball court that is detailed on Sheet C6.3. What is the pavement section for this court and are we to include the basketball backstop and if so, what is the specification?

Backstop is not included in the contract and will be owner provided. The Civil Engineer will respond to the Pavement Section question. The pavement section for the court is 2" SM-9.5A asphalt and 8"21B aggregate base stone.

11. Sheet C3.0 identifies two areas where existing overhead electric lines, power poles and guy wires are to be removed. Will this work be done by Dominion Virginia Power outside of the scope of work for this contract?

Work to be done by Dominion Virginia Power and is outside the scope of work for this contract.

12. Sheet C4.0 shows two (2) proposed 30' x 30' concrete pads for shelters. What is section for this pad and will there be an aggregate base for the pad to sit on?

Concrete pad for the shelters will be a 4” slab with 6x6 #10WWF.

13. And the Bid Form has the due date as May 14; the Invitation has it May 22. Is May 22 correct?

May 22 is correct. The revised Bid Form reflects this change.

14. Am I correct that the roof system consists of a 24 gauge standing seam roof panel with ribs at 16” on-centers? And that the insulation system will be more than your standard “Bag ‘n’ Sag” R-30 system that is pinched above the roof purlins with a thermal block? I assume you are looking for something similar to Thermal Design’s Simple-Saver System or Bay Insulation’s Bay Liner FP System. I suggest both with a fall protection system. You can Google both to review. These systems provide you with a true R-30.

Basis of Design was the IBL insulated seam roof system by Star Building System – but you are correct that the design intent was not to use the “bag and sag”.

15. The wall construction above the masonry is inconsistent. Section 2/A302 indicates sheathing over the cold-formed metal framing whereas several other sections do not. And in some cases it appears there are steel channels within the framing. With this design, there will be no need for wall girts or opening frames since the specified metal wall panels (exposed fasteners, 36” wide with ribs 12” on-centers) can be installed on the metal stud framing. I suggest the use of added horizontal hat channels to be placed on the sheathing at intervals as suggested by the metal panel manufacturer. Therefore, all metal stud framing will need to receive the sheathing. I believe this to be the designer’s intent. Is this correct?

Yes, this is correct.

16. Also, color of the roof panels are specified as “Colonial Red or as selected by the Architect from manufacturer’s full range”. The accent bands are also noted as “Colonial Red”. The photographs in the drawings indicate a bright deep red color. Butler Manufacturing has what they call a “Cool Brick Red” which is a dull red color. Will this color be acceptable or is it the intent to match the existing “Colonial Red”? If so, there will be a substantial upgrade cost for a non-standard color.

The basis of design for this color is Star Building System’s “Colonial Red” but something close to this color will be accepted. Matching the “colonial red” for the accent panels simply mean that the color of the roof should match the accent panels.

17. And, I'm somewhat confused regarding the accent panels. These panels appear to be drawn the same as the metal wall panel but it also appears that the intent of the designer is to have a flat surfaced panel, trim or fascia. Identification of these accent panels on wall sections vary; some identify them as "Metal Panel Accent Band", some as "Metal Flashing (Match Accent Band)", and the Building Elevations note them as "Metal Panel Trim / Accent Band and/or Fascia to match Colonial Red Metal Roof". I do not believe the intent was to have these metal wall panel material with exposed fasteners, 36" wide with ribs 12" on-centers. Also, there is no indication of how these accent bands attach to the metal wall panel or below the metal wall panel (is this band attached to sheathed metal stud framing?). Please advise.

Please see attached SKA-3.

Please see these additional specs for expansion joints shown above:

SECTION 079500 - EXPANSION CONTROL

PART 1 - GENERAL

1.1 SUMMARY

A. Section Includes:

1. Interior expansion control systems.
2. Exterior wall expansion control systems.

1.2 ACTION SUBMITTALS

- ##### A. Shop Drawings:
- For each expansion control system specified. Include plans, elevations, sections, details, splices, breakout requirement, attachments to other work, and line diagrams.

PART 2 - PRODUCTS

2.1 SYSTEM DESCRIPTION

- ##### A. General:
- Provide expansion control systems of design, basic profile, materials, and operation indicated. Provide units with capability to accommodate variations in adjacent surfaces.
1. Furnish units in longest practicable lengths to minimize field splicing. Install with hairline mitered corners where expansion control systems change direction or abut other materials.
 2. Include factory-fabricated closure materials and transition pieces, T-joints, corners, curbs, cross-connections, and other accessories as required to provide continuous expansion control systems.

2.2 INTERIOR EXPANSION CONTROL SYSTEMS

- ##### A. Manufacturers:
- Subject to compliance with requirements, **[provide products by the following] [provide products by one of the following] [available manufacturers offering products that may be incorporated into the Work include, but are not limited to, the following]:**
- ##### B. Basis-of-Design Product:
- Subject to compliance with requirements, provide product indicated or a comparable product by one of the following:
1. Construction Specialties, Inc.

- C. Source Limitations: Obtain expansion control systems from single source from single manufacturer.
- D. Floor-to-Floor PEJ-1:
 - 1. Basis-of-Design Product: MODEL HB-200 COMPRESSION SEAL.
 - 2. Design Criteria:
 - a. Nominal Joint Width: 2"
 - b. Movement Capability: 25 PERCENTAGE
 - c. Type of Movement: Thermal.
 - 3. Type: Elastomeric seal, recessed
 - a. Seal Material: Manufacturer's standard.
 - 1) Color: Gray.

2.3 EXTERIOR WALL EXPANSION CONTROL SYSTEMS

- A. Manufacturers: Subject to compliance with requirements, **[provide products by the following] [provide products by one of the following] [available manufacturers offering products that may be incorporated into the Work include, but are not limited to, the following]:**
- B. **Basis-of-Design Product:** Subject to compliance with requirements, provide product indicated or a comparable product by one of the following:
 - 1. WP Hickman Company.
- C. Source Limitations: Obtain expansion control systems from single source from single manufacturer.
- D. Roof-to-Wall RWEJ-1:
 - 1. Basis-of-Design Product: MODEL PSRW-ROOF TO WALL EXPANSION JOINT SYSTEM.
 - 2. Design Criteria:
 - a. Nominal Joint Width: 2"
 - b. Movement Capability: -25 percent/+75 percent.
 - c. Type of Movement: Thermal.
 - 3. Type: Cover plate.
 - a. Metal: Aluminum.
 - 1) Finish: Color anodic, Class I.

2.4 ACCESSORIES

- A. Moisture Barriers: Manufacturer's standard moisture barrier consisting of a continuous, waterproof membrane within joint and attached to substrate on sides of joint below the primary cover. Equip moisture barrier with drain tubes and seals to direct collected moisture to exterior-wall expansion control system.

2.5 MATERIALS

- A. Aluminum: **ASTM B 221 (ASTM B 221M)**, Alloy 6063-T5 for extrusions; **ASTM B 209 (ASTM B 209M)**, Alloy 6061-T6 for sheet and plate.
 - 1. Apply manufacturer's standard protective coating on aluminum surfaces to be placed in contact with cementitious materials.
- B. Elastomeric Seals: ASTM E 1783; preformed elastomeric membranes or extrusions to be installed in metal frames.
- C. Compression Seals: ASTM E 1612; preformed elastomeric extrusions having an internal baffle system and designed to function under compression.
- D. Cellular Foam Seals: Extruded, compressible foam designed to function under compression.
- E. Elastomeric Concrete: Modified epoxy or polyurethane extended into a prepackaged aggregate blend, specifically designed for bonding to concrete substrates.
- F. Moisture Barrier: Flexible elastomeric material.
- G. Nonmetallic, Shrinkage-Resistant Grout: ASTM C 1107/C 1107M.
- H. Accessories: Manufacturer's standard anchors, clips, fasteners, and other accessories as indicated or required for complete installations.

2.6 ALUMINUM FINISHES

- A. Color Anodic Finish: AAMA 611, AA-M12C22A42/A44, Class I, 0.018 mm or thicker.
 - 1. Color: As selected by Architect from full range of industry colors and color densities.

PART 3 - EXECUTION

3.1 PREPARATION

- A. Prepare substrates according to expansion control system manufacturer's written instructions.
- B. Coordinate and furnish anchorages, setting drawings, and instructions for installing expansion control systems.
- C. Cast-In Frames: Coordinate and furnish frames to be cast into concrete.

3.2 INSTALLATION

- A. Comply with manufacturer's written instructions for storing, handling, and installing expansion control systems and materials unless more stringent requirements are indicated.
- B. Metal Frames: Perform cutting, drilling, and fitting required to install expansion control systems.
 - 1. Install in true alignment and proper relationship to joints and adjoining finished surfaces measured from established lines and levels.
 - 2. Adjust for differences between actual structural gap and nominal design gap due to ambient temperature at time of installation. Notify Architect where discrepancies occur that will affect proper expansion control system installation and performance.
 - 3. Cut and fit ends to accommodate thermal expansion and contraction of metal without buckling of frames.
 - 4. Repair or grout blockout as required for continuous frame support using nonmetallic, shrinkage-resistant grout.
 - 5. Install frames in continuous contact with adjacent surfaces.
 - a. Shimming is not permitted.
 - 6. Locate anchors at interval recommended by manufacturer, but not less than **3 inches (75 mm)** from each end and not more than **24 inches (600 mm)** o.c.
- C. Seals in Metal Frames: Install elastomeric seals and membranes in frames to comply with manufacturer's written instructions. Install with minimum number of end joints.
 - 1. Provide in continuous lengths for straight sections.
 - 2. Seal transitions according to manufacturer's written instructions. Vulcanize or heat-weld field-spliced joints as recommended by manufacturer.
 - 3. Installation: Mechanically lock seals into frames or adhere to frames with adhesive or pressure-sensitive tape as recommended by manufacturer.

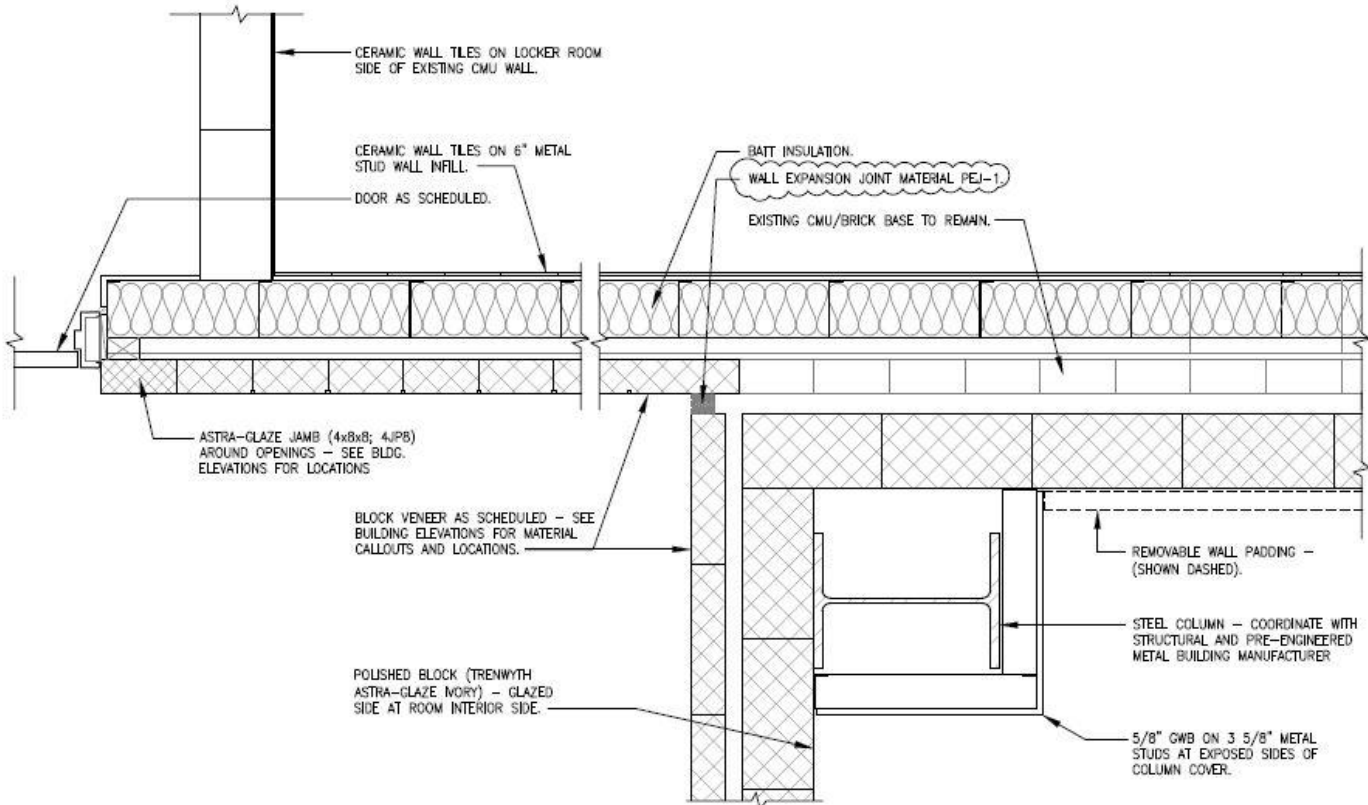
- D. Foam Seals: Install with adhesive recommended by manufacturer.
- E. Terminate exposed ends of expansion control systems with field- or factory-fabricated termination devices.
- F. Moisture Barrier: Provide at all exterior joints and where indicated on Drawings. Provide drainage fittings[at a maximum of 50 feet (15.2 m) or where indicated on Drawings.

3.3 PROTECTION

- A. Do not remove protective covering until finish work in adjacent areas is complete.
- B. Protect the installation from damage by work of other Sections.

END OF SECTION 079500

The following drawings are not to scale, but will suffice for the purposes of the bid.



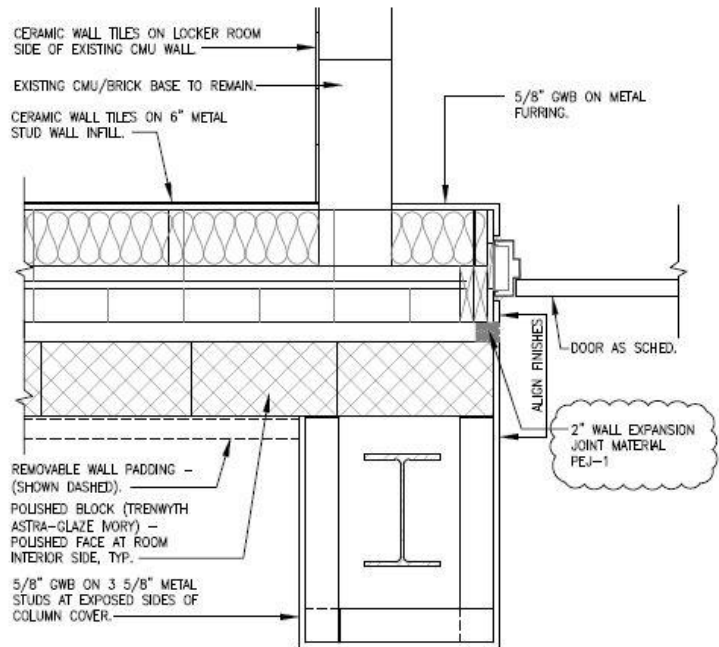
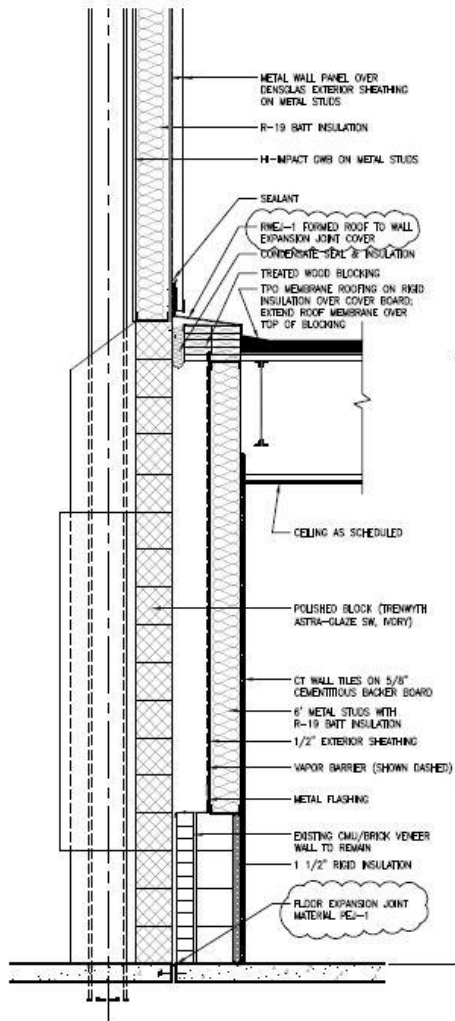
1
A301

PLAN DETAIL

SCALE: 3/4" = 1'-0"

| | |
|--|--|
| <p>McEntire Design ARCHITECTS PLANNERS</p> <p>1001 W. WASHINGTON STREET SUFFOLK, VIRGINIA 23434 phone 757-425-9800 fax 757-425-9800</p> | <p>WHALEYVILLE COMMUNITY CENTER ROBERTSON ST., SUFFOLK, VIRGINIA</p> |
| <p>SKA-1 REFERENCES DTL. 1/A301</p> | |

MAY 02, 2013



2
SKA2

PLAN DETAIL

SCALE: 3/4" = 1'-0"

REFERENCES DTL 2/A301

1
SKA2

WALL SECTION AT ENDWALL

SCALE: 3/8" = 1'-0"

REFERENCES DTL 2/A302

McEntire Design
ARCHITECTS PLANNERS
1001 W. WASHINGTON STREET
SUFFOLK, VIRGINIA 23434
phone 757-425-9800 fax 757-425-9800

**WHALEYVILLE
COMMUNITY CENTER**
ROBERTSON ST., SUFFOLK, VIRGINIA
SKA-2
EXPANSION JOINTS

MAY 02, 2013

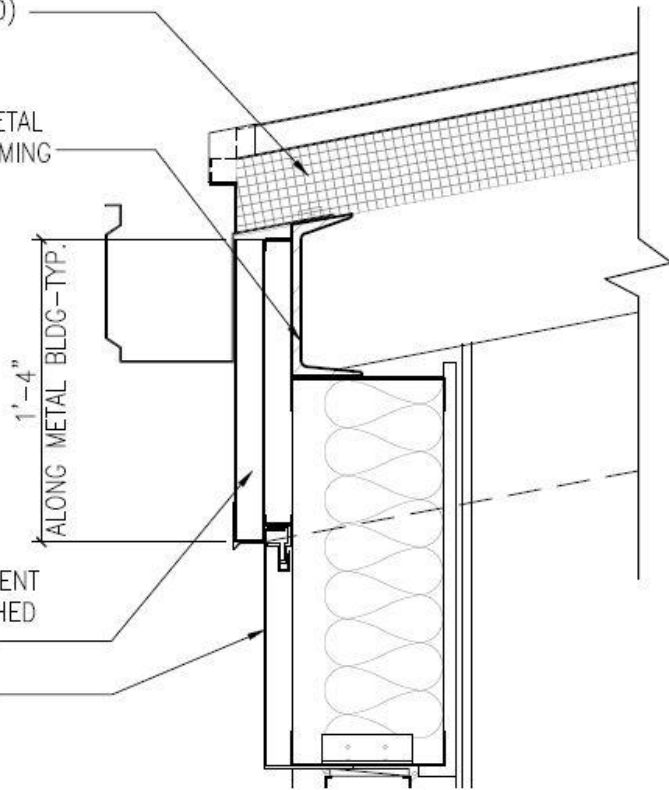
INSULATED STANDING SEAM
ROOF SYSTEM (R-30)

PRE-ENGINEERED METAL
BUILDING STEEL FRAMING

1'-4"
ALONG METAL BLDG-TYP.

STANDING SEAM ACCENT
METAL PANEL ATTACHED
TO METAL FURRING

METAL WALL PANEL



1
SKA3

EAVE DETAIL

SCALE: 1 1/2" = 1'-0"

REFERENCES DTL 2/A103

| | |
|--|---|
| McEntire Design ARCHITECTS + PLANNERS 1001 W. WASHINGTON STREET SUFFOLK, VIRGINIA 23434 phone 757-422-9800 fax 757-422-9800 | WHALEYVILLE COMMUNITY CENTER ROBERTSON ST., SUFFOLK, VIRGINIA |
| | SKA-3 |

MAY 02, 2013